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**REMARKS**

1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ASGB HOUSING PROVISIONS.  
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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:29
SHEET TITLE COVER PAGE	REV. A	DESCRIPTION DATE 01/18/22
SITE 30 HUME BOULEVARD KILLARNEY VALE	DRAWN BY Author	CHECKED BY MW
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## GENERAL NOTES :

All work to comply with the Building Code of Australia , current editions of the relevant Australian Standards , and industry codes of practice .

Select store, handle and install proprietry products or systems in accordance with the published recommendations of the manufacturer or supplier .

## Dimensions and Setout

Do not scale from drawings . Take figured dimensions in preference to scale . Verify all dimensions on site before commencing work . The site foreman shall be responsible for verifying all dimensions and levels prior to the commencement of the Works . In the event of discrepancies in the setout of the Works , the builder should refer to the Project Designer for clarification before proceeding .

## TERMITE PROTECTION

Termite protection to AS 3660.1.

Use a physical barrier system installed by licensed installers to manufacturer 's specification .

Obtain all relevant certification from licensed installers to the effect that these works have been executed in accordance

with the BCA, Aust. Stds and relevant codes of practice .

## SITE PREPARATION

Groundworks for slabs and footings to AS 2870.

Demolition to AS2601.

Avoid erosion, contamination and sedimentation of the site , surrounding areas and drainage systems . Limit clearing of the Site to areas to be occupied by the Works , paving and landscaping . Grub out or grind stumps of all trees to be removed from the site .

## EXCAVATION

Excavate to give the levels and profiles required for constructionxx;site services paving and landscaping . Allow for compaction and settlement . Confirm bearing capacity for foundations is adequate . Provide even bearing surfaces for loadbearing elements including footings . Grade to ground surface externally to drain ground or surface water away from the buildings without ponding . Remove all loose material , debris and organic matter prior to placing fill , ground slabs and loadbearing elements . Compact the ground to achieve required density .

## VAPOUR BARRIERS

All vapour barriers to AS 2870.

Provide vapour barriers below all ground concrete slabs (if required) on sand blind surface sufficient to cover hard projections. Barriers to be minimum 0.2mm thick impact resistant polyethylene film .

Provide ant-caps between any brick or stone piers and sub walls and timber bearers .

## SERVICE TRENCHES

Excavate trenches as required to bring all services to the Works . Trenches to be straight between manholes , inspection points and junctions where practicable , of minimum depth required to adequately accommodate relevant service. Obtain inspection approvals where relevant prior to backfilling . Backfilling to be compacted to prevent subsidence .

## CONCRETE CONSTRUCTION

Concrete structures generally to AS 3600.

Ground slabs and footings to AS 2870.

Ready-mixed concrete to AS 1379.

All reinforcement to be in accordance with Engineer 's drawings and specification . Place all concrete uniformly over the width of the slab to achieve a level face . Provide construction joints as required . Compaction, curing and formwork stripping to comply with Aust . Stds and codes of practice .

## TIMBER AND STEEL CONSTRUCTION

All timber framing and flooring to AS 1684, AS1720.1 where relevant.

Structural steelwork to AS 4100.

Preparation of metal surfaces to AS 1627.

Flashing and damp -proof courses to AS 2904.

## Steelwork

Fabricate and erect all structural steelwork in accordance with Structural Engineer 's drawings and specifications . Submit shop drawings to Designer and Engineer for approval before commencing fabrication . All welds to be free of slag. Remove all swarf from steelwork and surrounds immediately after it is deposited . All proprietry fixings to be compatible with steelwork finish . Obtain certification from Structural Engineer to the effect that these works have been executed satisfactorily .

## Flooring and Decking

Strip flooring to AS 1684.

Particleboard sheet flooring to AS 1859 1, installed to AS 1860.

Fibre-cement flooring to AS 2908.2.

New timber decking to AS 2796.

Ensure building is sufficiently protected from weather prior to installing all strip - and sheet-flooring.

## Decking

Allow to fix select grade hardwood decking as supplied by Proprietor . All handling, storage, installation and finishing as recommended by the manufacturer . Allow for sufficient acclimatization prior to installation .

## Wall framing

All framing to AS 1684.

Provide additional noggings etc . where required to fix linings , cladding, hardware, fixtures, fittings and accessories . Provide damp proof courses under bottom plate of external clad -frame walls on slabs or dwarxf masonry walls . Provide flashings to all external openings sufficient to prevent entry of moisture and wind -driven rain and other precipitation .

## MASONRY CONSTRUCTION

Masonry generally to AS 3700 and masonry units to AS 4455.

Provide ant-caps between any brick or stone piers sub walls and timber bearersx;.

## WATERPROOFING AND WET AREAS

All waterproofing to AS 3740 . All liquid and sheet membrane systems to be specific for their intended purpose , installed to manufacturer 's specification , properly and effectively terminated at perimeters and drainage outlets . Provide certification by a credited certifier for waterproofing works prior to executing subsequent stages of Works. Provide a written guarantee for all waterproofing membranes of not less than 12 years.

## TILING

All tiles to be cut to fit neatly around fixtures and fittings and at perimeters . Drill holes with damaging tile faces . Return tiles into sills , reveals, and opening . Butt up to returns , frames fittings and other finishes . Distribute variations in hue , colour and pattern uniformly by mixing tiles or tile batches before laying . Allow beddings to set and attain working strength before opening areas to traffic . Set out tiles from the centre of floors and walls . Align joints between floors and walls where possible . Grade floor tiling even falls to floor wastes . Ensure level junctions to walls . Achieve minimum falls of 1 in 100 generally and 1 in 60 in shower wastes . Junctions between tiled floors and other materials to be finished with corrosionresistant metal dividing strip fixed to the substrate . Do not compromise waterproof membranex;Bath cavities to be ventilated with min 2 ventilation points

## FLOOR COATINGS AND COVERINGS

Polished concrete slab to be helicoptered burnish finish to Proprietor 's specification .

Timber Floor coating to be 2 - 3 coats of Bona Mega (Silk Matt), applied using a Bona Roller or applicator . A coverage rate of 8-10m<sup>2</sup> / litre should be observed . Application to manufacturers specification .

## PAINTING

All painting AS2311 and paint manufacturer 's specifications .

Clean off marks , paint spots and stains progressively .

Touch up damaged paintwork with original paint batch where possible .

Refer to finishes schedule for details of painted finishes .

## CABINETRY

Allow to build in and fit off all sinks and tubs , and other plumbing fixtures to be supplied by Proprietor .

Allow to co-ordinate between electrical and plumbing trades during installation of all cabinetry .

## ARCHITECTURAL METALWORK

All metalwork strictly to Structural Engineers specification where applicable and to Designer 's details. Confirm all measurements on site before fabrication . Prefabricate components off -site where possible for on -site fixing. All work to be set into position truly plumb , square and level and secured to suit loadings in vertical and horizontal alignment .

## PLUMBING DRAINAGE AND GAS INSTALLATIONS

All plumbing and drainage work strictly in accordance with AS 3500.

All gas installations to AS 5601.

Install piping in straight lines and to minimum uniform grades where required . Ensure all piping is installed to prevent vibration and water -hammer whilst permitting thermal movement . Prevent direct contact with incompatible metals . Lines in sub-floor spaces to be min . 150mm clear of ground level . Ensure adequate access for inspection and maintenance where required .

## Stormwater and Wastewater

Use temporary covers during construction to openings and keep system free of debris . Flush system clean upon completion . Connect subsoil drains to groundwater drainage system . Laundry tubx;washing machine and kitchen sink to be plumbed directly into drainage lines via dedicated charged waste . Do not plumb through floor waste .

## Rainwater Storage

All plumbing and drainage work strictly in accordance with AS 1273 / AS2179 / AS3500.

First flush devices to be fitted to all downpipes . All inlets and outlets to be protected with suitable mosquito barrier .

## Gas

Gas supply to be installed to Local Authority Requirements . On completion of installation and testing , turn on isolation and control valves and purge and charge the installation .

# 30 HUME BOULEVARD KILLARNEY VALE COMPLYING DEVELOPMENT CERT.

## DOMESTIC ELECTRICAL AND MECHANICAL INSTALLATIONS

All domestic electrical works to AS 3018.

All mechanical installations to AS 1668.

All telecommunications installations to AS 1501.8.

Provide switches , outlets and plates generally in accordance with wiring diagrams . Provide control switchgear , circuit breakers and earth leakage protection devices as required . Provide for installation of exhaust fans where required, appropriate to the use and size of the rooms to be ventilated . Connect and duct ceiling grilles to suitable, rainproof exterior outlets .

Install smoke alarms as required by Aust . Stds and BCA.

Test all electrical installations , smoke alarms and mechanical ventilation prior to completionx;.

## INSULATION AND SARKING

Provide flexible membrane material normally used for waterproofingxx;vapour retarding or thermal reflective insulation.

All bulk insulation to AS 3742, installed to AS 3999.

All sarking material to AS 4200.1.

Fit all batts tightly between framing members , and support securely .

Provide vapour -permeable sarking under cladding which does not provide a permanent weatherproof seal , including boards or planks fixed in exposed locations where wind -driven rain can penetrate the joints . Apply to the outer face of external studs from top plate down over bottom plate and flashing . Run across studs and lap min. 150mm at joints . Provide roof sarking as part of roof insulation . Finish sarking at least 50mm clear of ridges.

## ROOFING

All flashing materials to AS 2904, fasteners to AS 3566.

Metal sheet roofing to AS 1562.

Roof sheeting to be Lysaght LONGLINE® profile or equivalent . All visible accessories , fixings, flashings, cappings , rainwater heads and gutters etc , to be compatible with roof sheeting . Ensure all electrolytic and similar corrosive actions are eliminated by the use of compatible materials , effective physical separation of adjacent unalike materials where required , and avoiding puncturing of metals and breaking down of surface finishes . Generally eaves will be exposed .

## ROOF PLUMBING

All roof plumbing to AS 2179.1 and AS2180.

All fasteners and mechanically fastened joints to be sealed with silicone sealant . Flashing projections above and through roofing with 2-part apron flashing and over -flashing min 100mm overlap . Allow for independent movement between roofing and projection . All cover and under -flashing materials to be electrolytically compatible with roof sheeting and rainwater goods . Provide minimum 0.48 BMT sheet steel cappings and fascias pre-formed to profiles indicated on details prior to delivery . All cappings and flashings to be in single , continuous lengths . All accessories and fixings as per sheet metal fabricator 's recommendation . All guttering and roof sheeting to achieve minimum falls as per Aust . Stds and sheet metal manufacturer 's recommendation .

## DOORS AND WINDOWS

All doors and windows generally to AS 2047.1 as per door and window schedule .

Install flashings , weather-bars, drips, storm moulds etc . to prevent water entering building between frames and the building structure . Install all door and window sets plumb , level, straight and true , adequately anchored and free of building loads and structural deflection .

## LININGS

All plasterboard linings to AS 2588, 13mm thick sheets to ceilings , 10mm thick sheets to walls . Moisture resistant plasterboard to be used in all wet areas .

All fibre cement linings to AS 2908.2, walls - 9mm-thick sheets suspended soffits - 9mm thick sheets, floors - 18mm thick sheets .

All installation to AS 2589.1. Linings to be fixed to framing at recommended spacing . Ensure all linings are level , plumb, straight and true as applicable . Provide recessed edge sheets and finish flush with perforated reinforcing tape. Provide flashings , trim and sealants to effectively waterproof wet areas . Provide timber trim as detailed and where necessary to make neat junctions between components and finishes . Provide Rondo stopping bead profile to ceiling planes .

## REMARKS

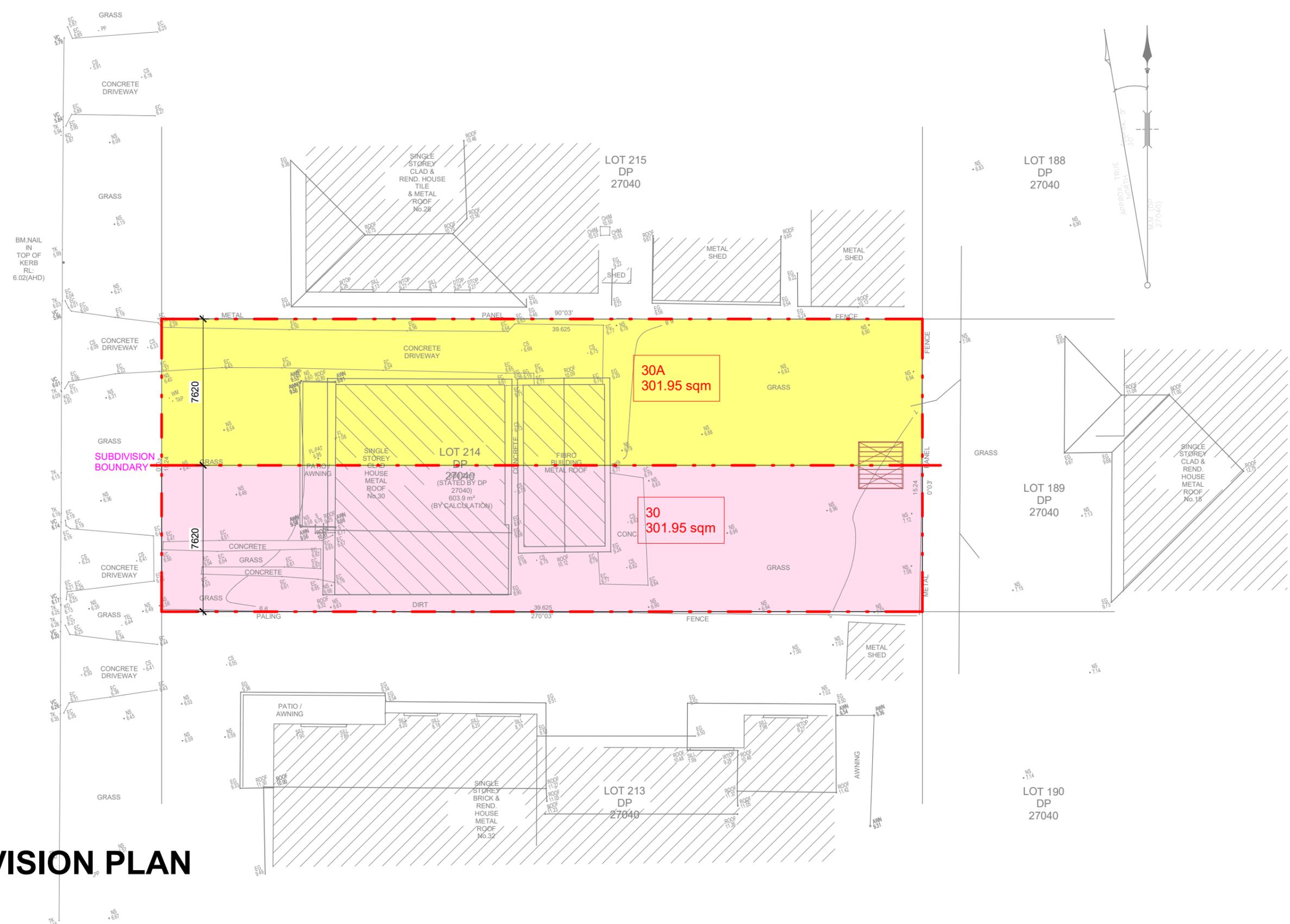
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PROPOSED DUPLEX	CDC			2025/10/13 10:54:31	
SHEET TITLE	REV.	DESCRIPTION	DATE	DRAWN BY	CHECKED BY
NOTES	A		01/18/22	Author	MW
SITE 30 HUME BOULEVARD KILLARNEY VALE				SCALE AS SHOWN@A3	SHEET NO CDC-01



BOULEVARD  
HUME



# SUBDIVISION PLAN

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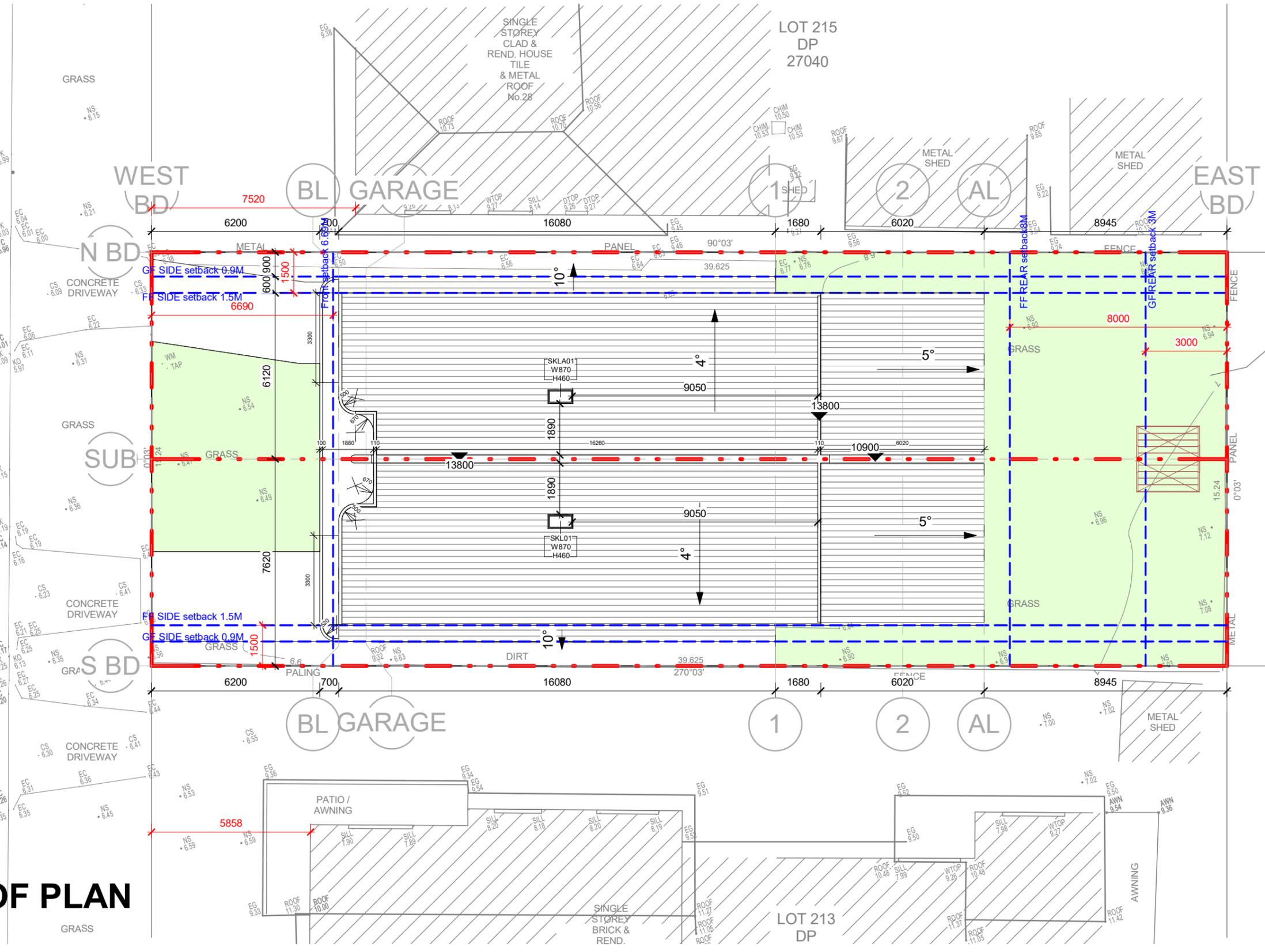


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SITE 30 HUME BOULEVARD KILLARNEY VALE					CHECKED BY Checker
				SCALE AS SHOWN@A3	SHEET NO CDC-03

BOULEVARD  
HUME

# SITE & ROOF PLAN

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PROJECT  
PROPOSED DUPLEX

SHEET TITLE  
SITE & ROOF PLAN

SITE  
30 HUME BOULEVARD KILLARNEY VALE

PROJECT STATUS

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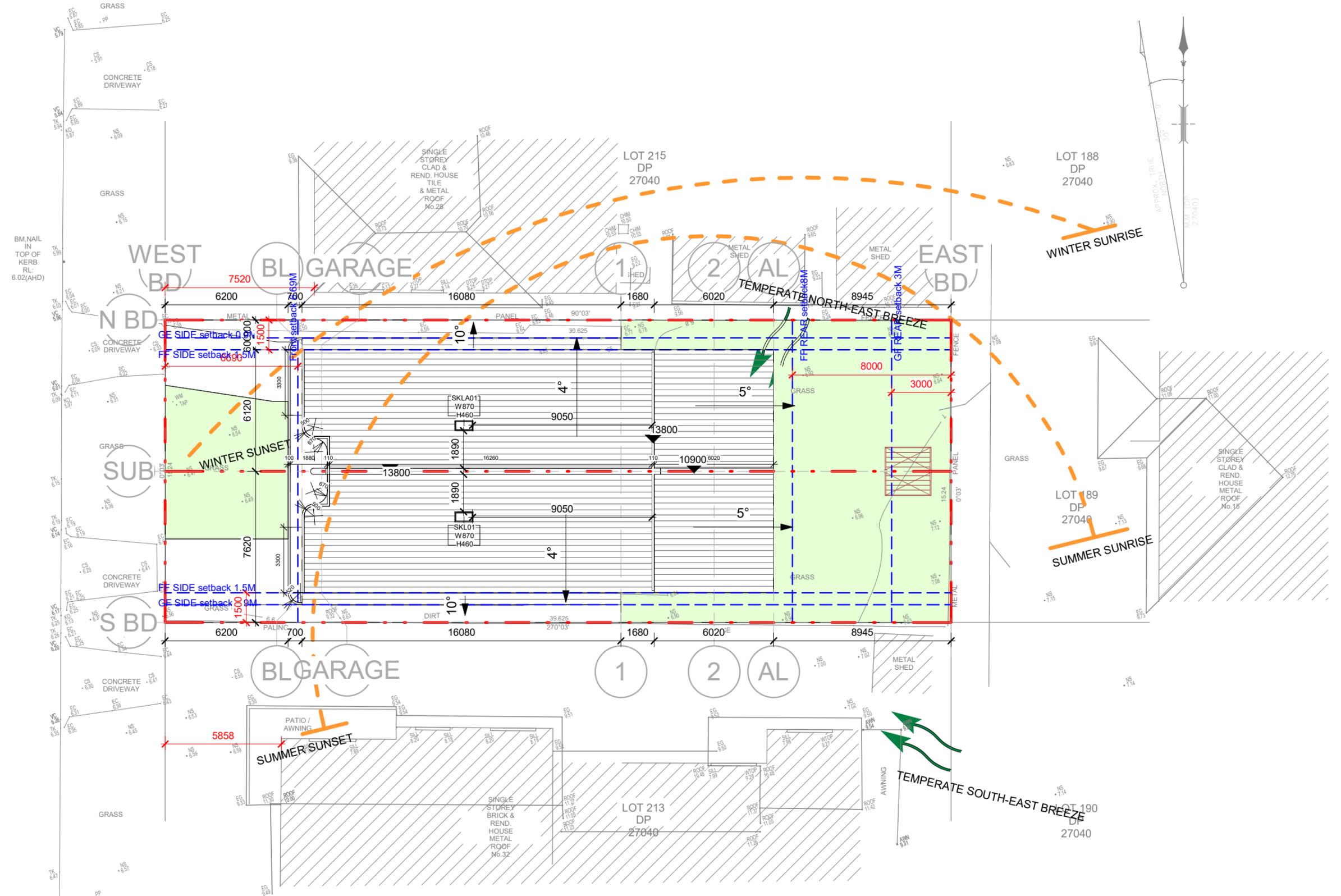
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BOULEVARD  
HUME



# SITE Analysis

1 : 200

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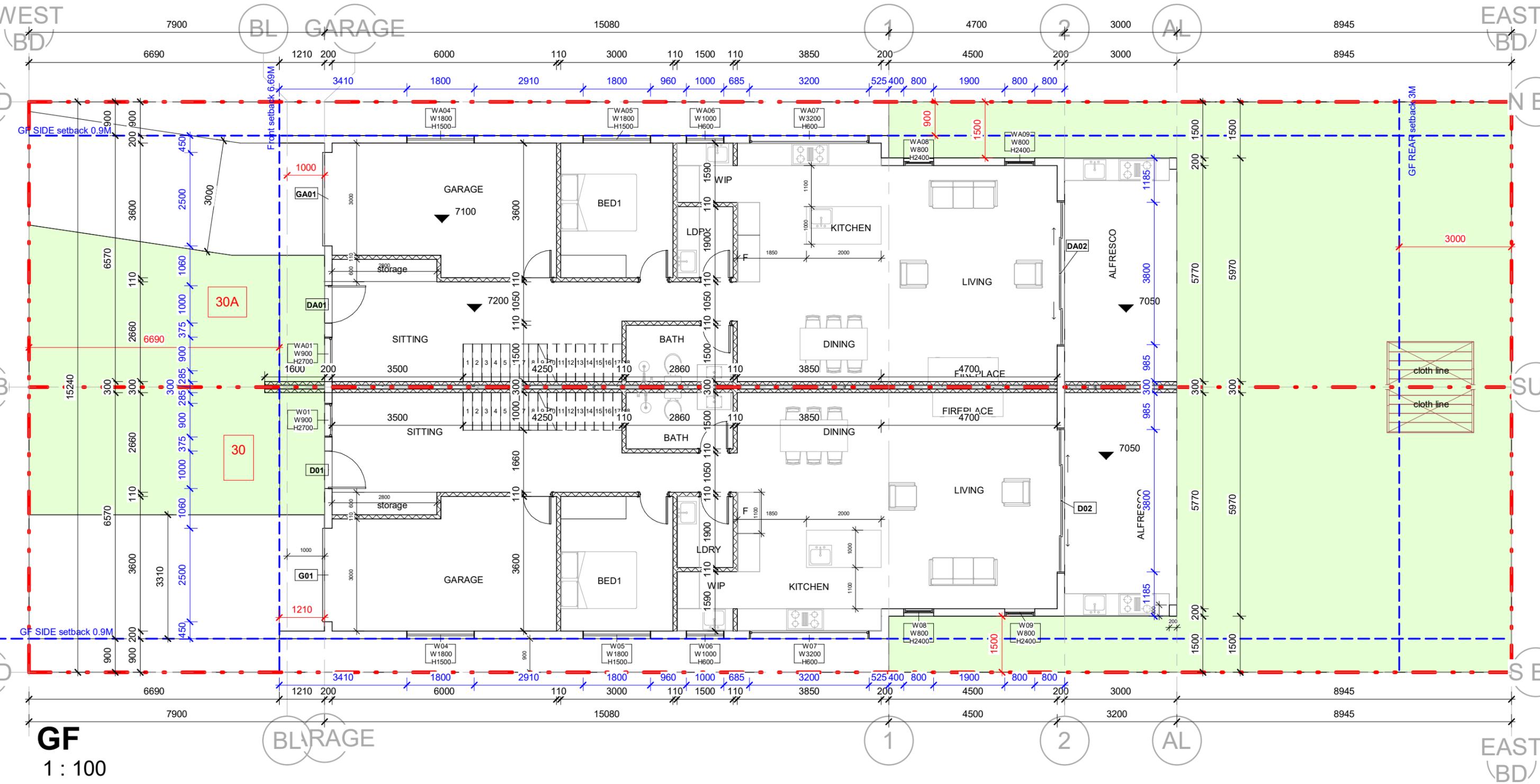


PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:32
SHEET TITLE SITE ANALYSIS	REV. A	DESCRIPTION DATE 01/18/22
SITE 30 HUME BOULEVARD KILLARNEY VALE	DRAWN BY Author	CHECKED BY MW
	SCALE AS SHOWN@A3	SHEET NO CDC-05

ABBREVIATION	
CL	CEILING LINING
CONC	CONCRETE FINISH
TILE	TILE FINISH
DP	DOWNPIPE
EP	EPOXY PAINT
RWT	RAINWATER TANK
PF	PAINT FINISH
FB	FACE BRICK
TB	TIMBER FINISH
FC	FACE CLADDING
SC	SCREEN
PC	POLISHED CONCRETE
CL	CLEAR GLASS
OG	OBSCURE GLASS
GT	BOX GUTTER
OF	OVERFLOW
FG	FIXED GLASS
F	FRIDGE
W	WASHING MACHINE
D	DRYER
AC	AIRCONDITION
ELE	ELECTRIC BOX
EF 25	Exhaust Fan at 25U/min.
EF 40	Exhaust Fan at 40U/min.

⊙	SMOKE ALARM
○	DOWNPIPE
▬	Waterstop Angles
▨	300mm HEBEL PARTY WALL
▭	200mm HEBEL EXTERNAL WALL
▭	110mm Cladding
▨	110mm PARTITION WALL
□	90mm TIMBER
□	20mm CAVITY
□	75mm HEBEL
□	20mm CAVITY
□	90mm TIMBER
□	10mm GYPROCK
□	90mm TIMBER STUDS
□	10mm GYPROCK

⬮	Exhaust Fan
⬮	Floor waste
⬮	90mm TIMBER
⬮	20mm CAVITY
⬮	75mm HEBEL
⬮	20mm CAVITY
⬮	90mm TIMBER
⬮	10mm GYPROCK
⬮	90mm TIMBER STUDS
⬮	10mm GYPROCK

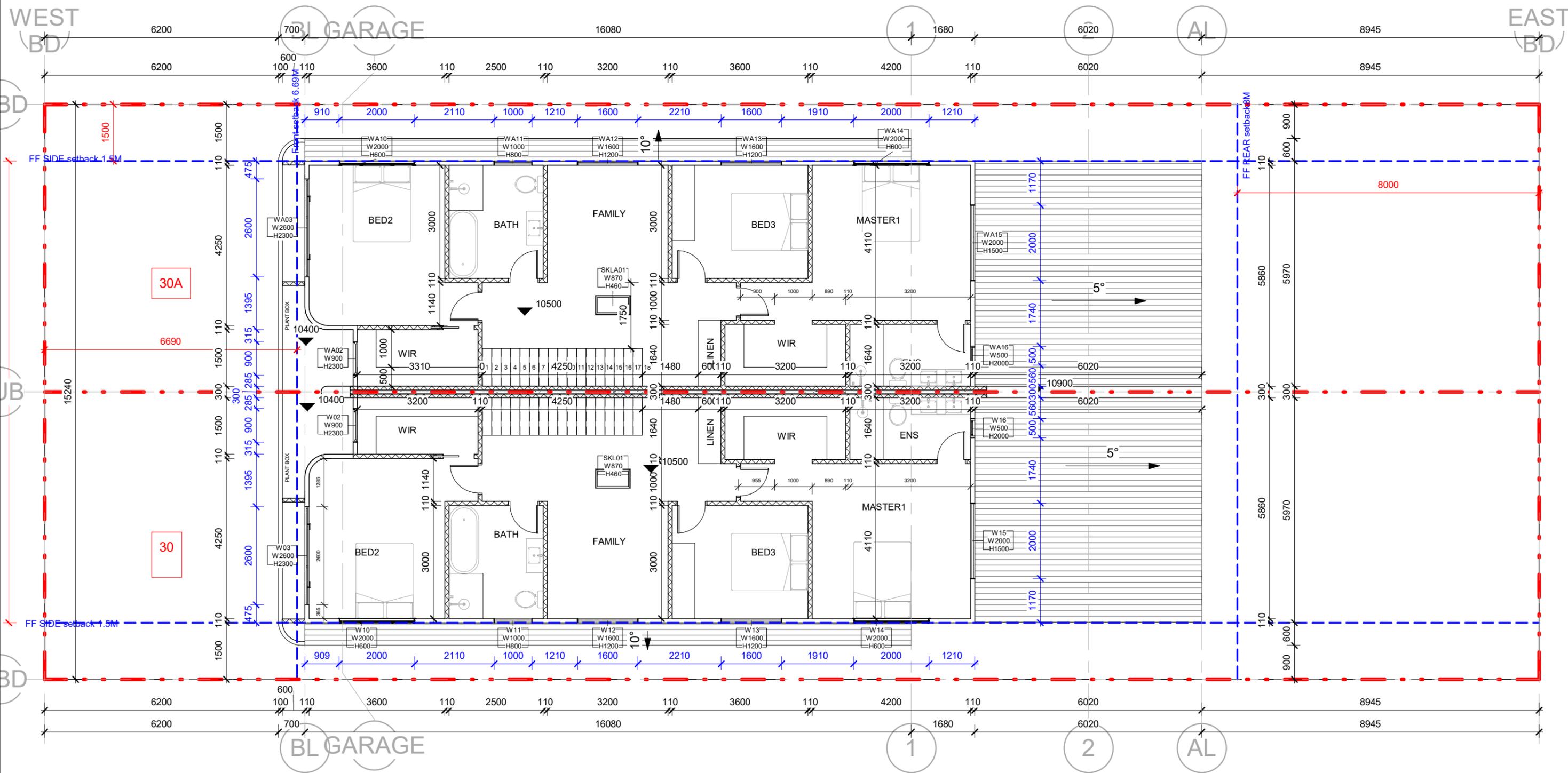


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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:33
SHEET TITLE GROUND FLOOR PLAN	REV. A	DESCRIPTION
SITE 30 HUME BOULEVARD KILLARNEY VALE	DATE 01/18/22	DRAWN BY MW
		CHECKED BY MW
		SCALE AS SHOWN@A3
		SHEET NO CDC-06



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PROJECT  
PROPOSED DUPLEX

SHEET TITLE  
FIRST FLOOR PLAN

SITE  
30 HUME BOULEVARD KILLARNEY VALE

PROJECT STATUS

CDC

REV.  
A

DESCRIPTION

DATE

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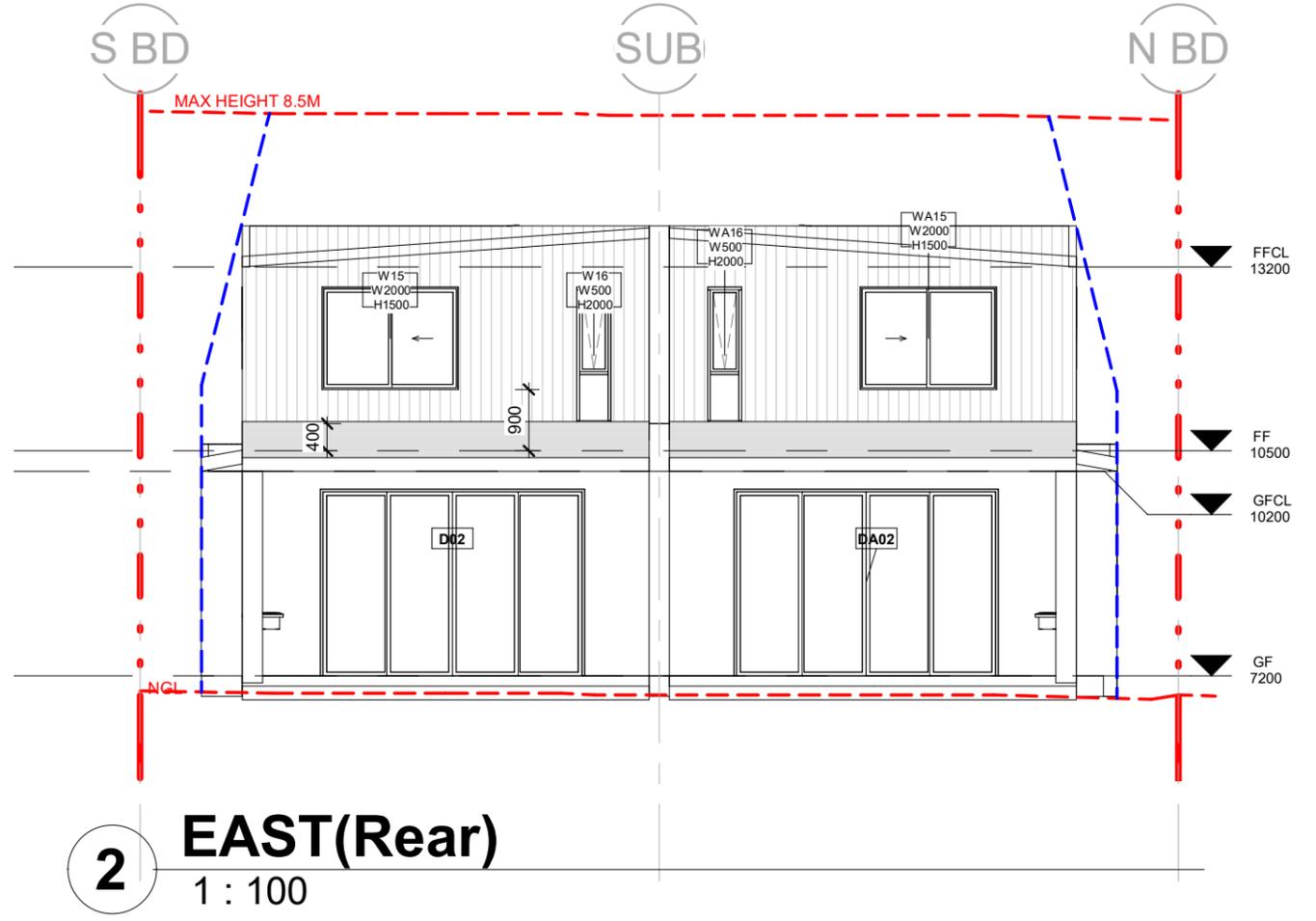
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CDC-07

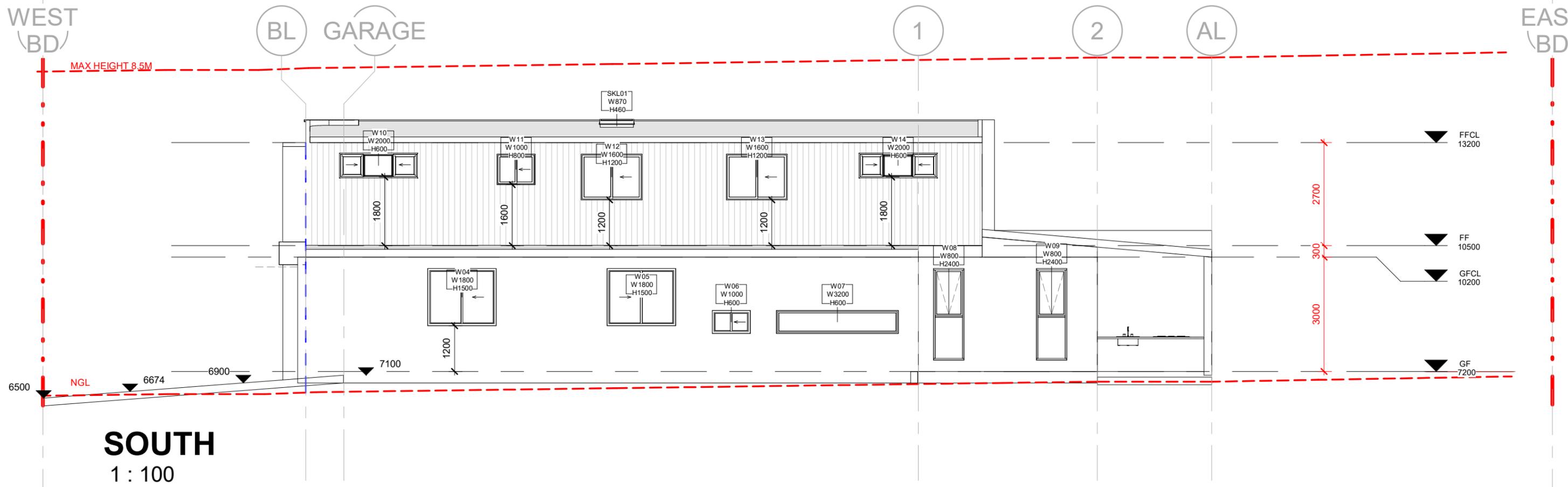
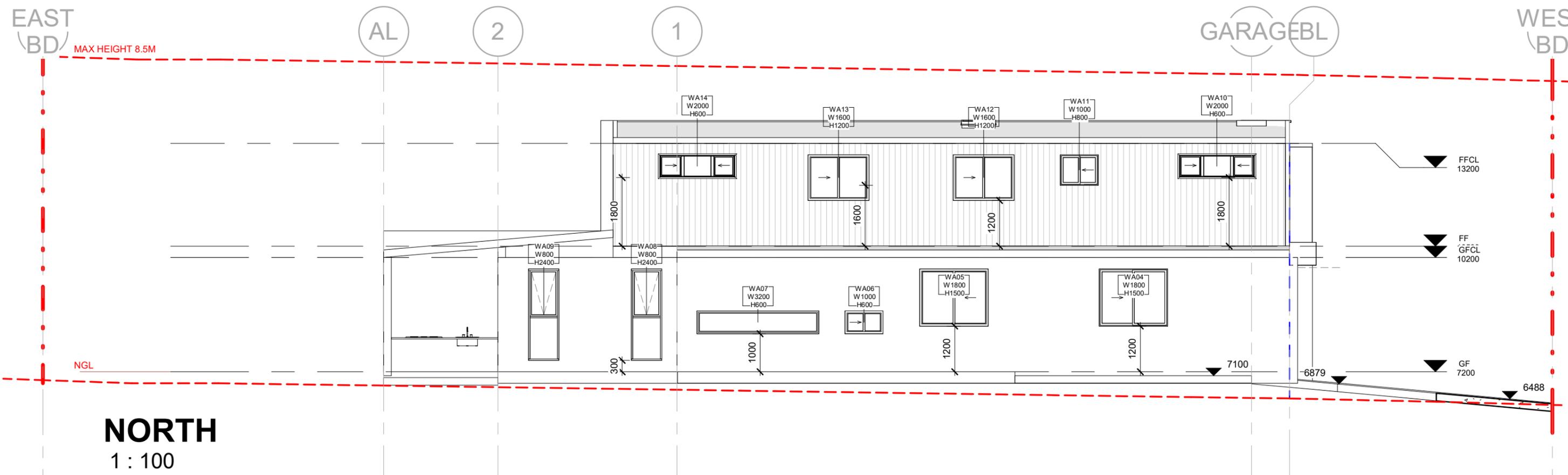


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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:36
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SITE 30 HUME BOULEVARD KILLARNEY VALE	DRAWN BY MW	CHECKED BY MW
	SCALE AS SHOWN@A3	SHEET NO CDC-08



REMARKS

1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.
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3. WORK COMPLY WITH THE NATIONAL CONSTRUCTION CODE SERIES (NCC) BUILDING CODE OF AUSTRALIA (BCA) VOLUME 2, 2022 INCLUDING SECTION H1-H8
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:37
SHEET TITLE SIDE ELEVATION	REV. A	DESCRIPTION
SITE 30 HUME BOULEVARD KILLARNEY VALE	DATE 01/18/22	DRAWN BY MW
		CHECKED BY MW
		SCALE AS SHOWN@A3
		SHEET NO CDC-09

Window Schedule				
Mark	Height	Width	Sill Height	Head Height

SKL01	460	870		
SKLA01	460	870		
W01	2700	900	0	2700
W02	2300	900	100	2400
W03	2300	2600	100	2400
W04	1500	1800	1200	2700
W05	1500	1800	1200	2700
W06	600	1000	1000	1600
W07	600	3200	1000	1600
W08	2400	800	300	2700
W09	2400	800	300	2700
W10	600	2000	1800	2400
W11	800	1000	1600	2400
W12	1200	1600	1200	2400
W13	1200	1600	1200	2400
W14	600	2000	1800	2400

Window Schedule				
Mark	Height	Width	Sill Height	Head Height

W15	1500	2000	900	2400
W16	2000	500	400	2400
WA01	2700	900	0	2700
WA02	2300	900	100	2400
WA03	2300	2600	100	2400
WA04	1500	1800	1200	2700
WA05	1500	1800	1200	2700
WA06	600	1000	1000	1600
WA07	600	3200	1000	1600
WA08	2400	800	300	2700
WA09	2400	800	300	2700
WA10	600	2000	1800	2400
WA11	800	1000	1600	2400
WA12	1200	1600	1200	2400
WA13	1200	1600	1200	2400
WA14	600	2000	1800	2400
WA15	1500	2000	900	2400
WA16	2000	500	400	2400

Door Schedule		
Mark	Height	Width

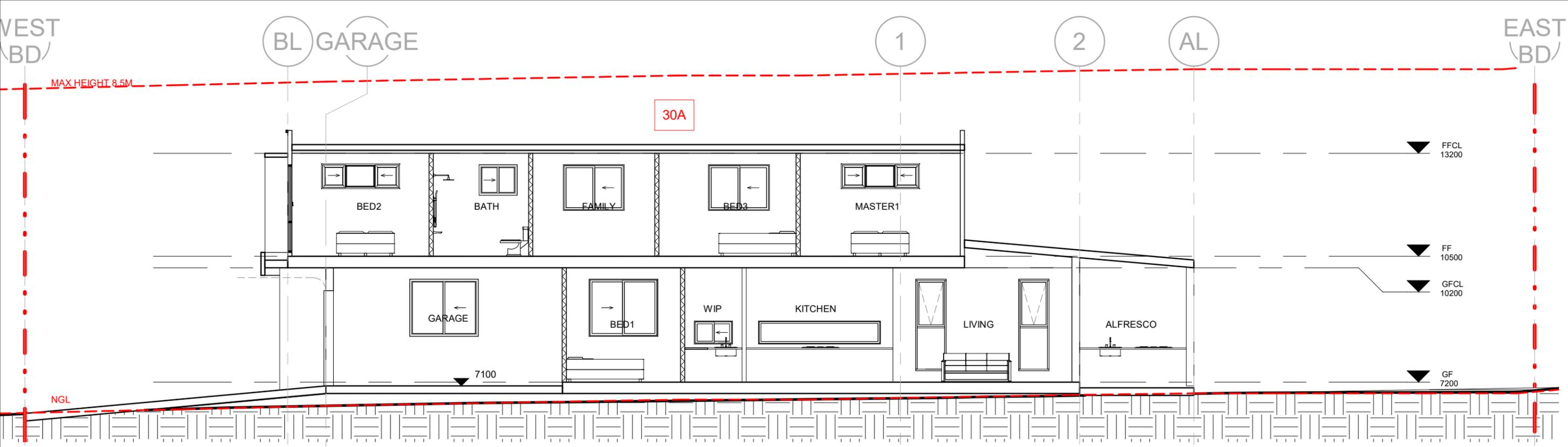
D01	2700	1000
D02	2700	3800
DA01	2700	1000
DA02	2700	3800
G01	2500	2500
GA01	2500	2500

REMARKS

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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:37
SHEET TITLE WINDOW&DOOR SCHEDULE	REV. A	DESCRIPTION 09/21/22
SITE 30 HUME BOULEVARD KILLARNEY VALE	DRAWN BY Author	CHECKED BY Checker
	SCALE AS SHOWN@A3	SHEET NO CDC-10

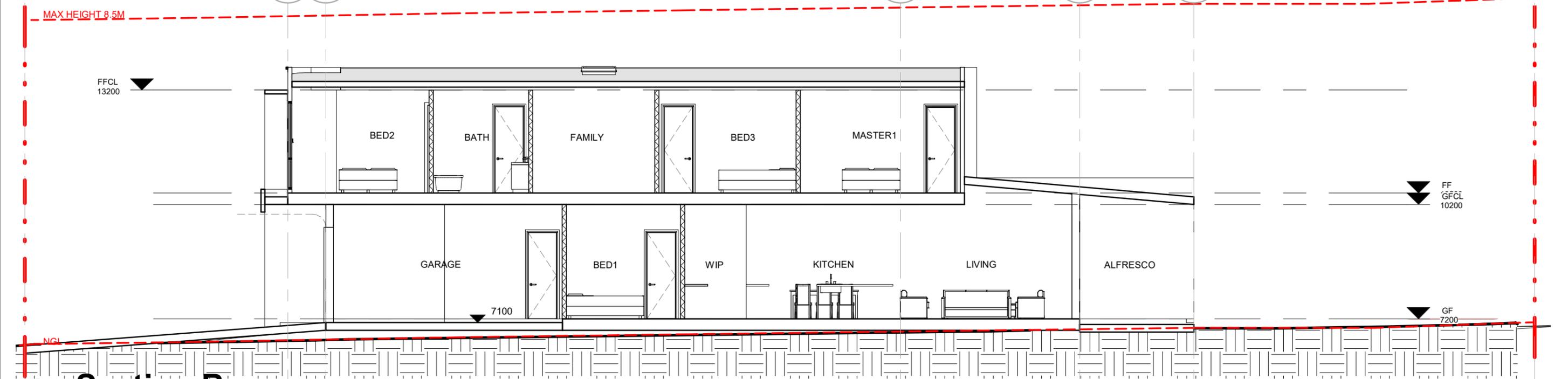


# Section A

1 : 100

1  
WEST  
(BD)

EAST  
(BD)



# Section B

1 : 100

2  
WEST  
(BD)

EAST  
(BD)

REMARKS

1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.
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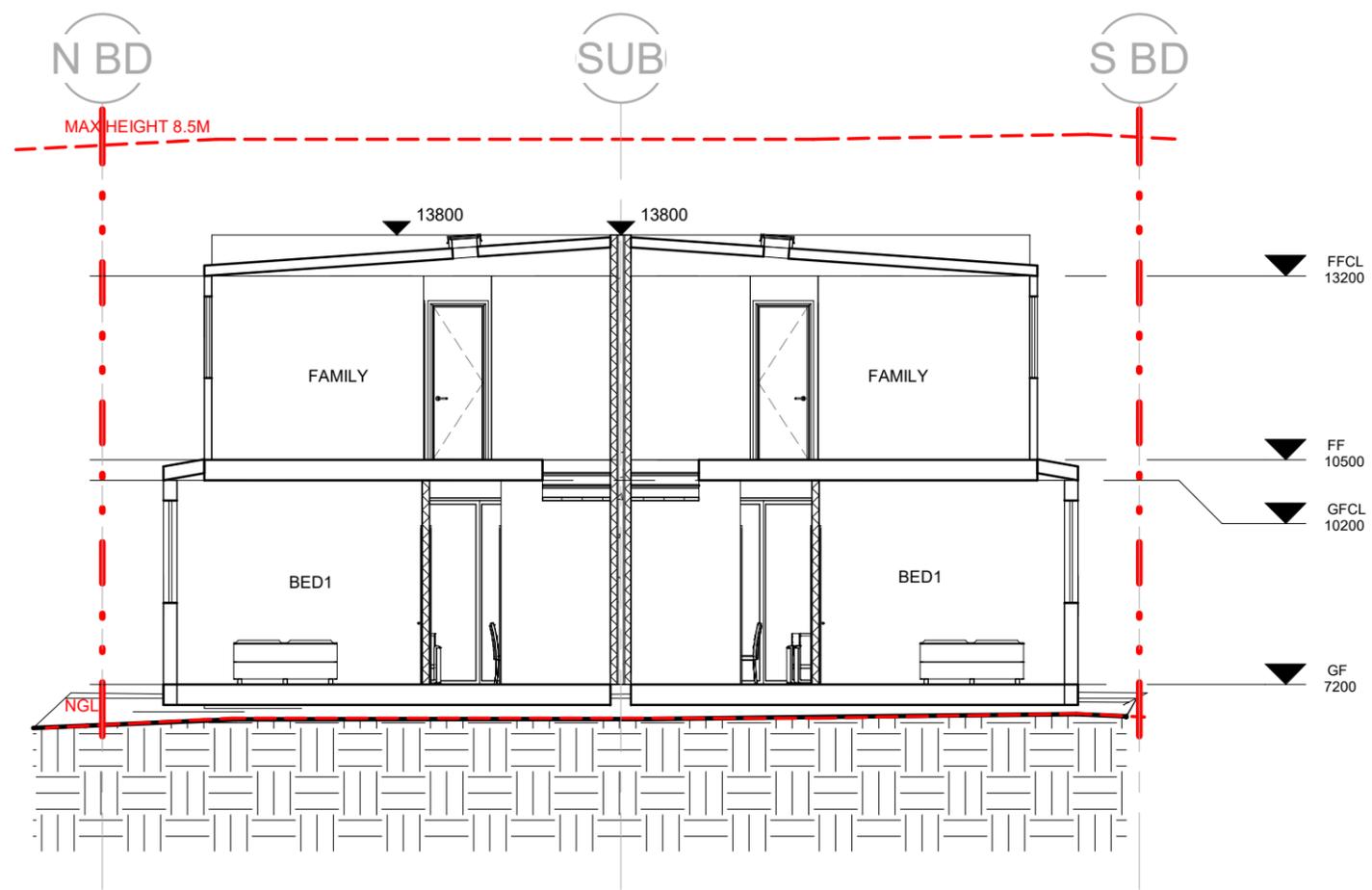
PROJECT  
PROPOSED DUPLEX

SHEET TITLE  
SECTION A&B

SITE  
30 HUME BOULEVARD KILLARNEY VALE

REV.	DESCRIPTION	DATE
A		01/19/22

PROJECT STATUS		DATE
CDC		2025/10/13 10:54:38
DRAWN BY	CHECKED BY	SCALE
Author	MW	AS SHOWN@A3
SHEET NO		
CDC-11		



**1** Section C  
1 : 100

REMARKS

1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.
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PROJECT  
PROPOSED DUPLEX

SHEET TITLE  
SECTION C

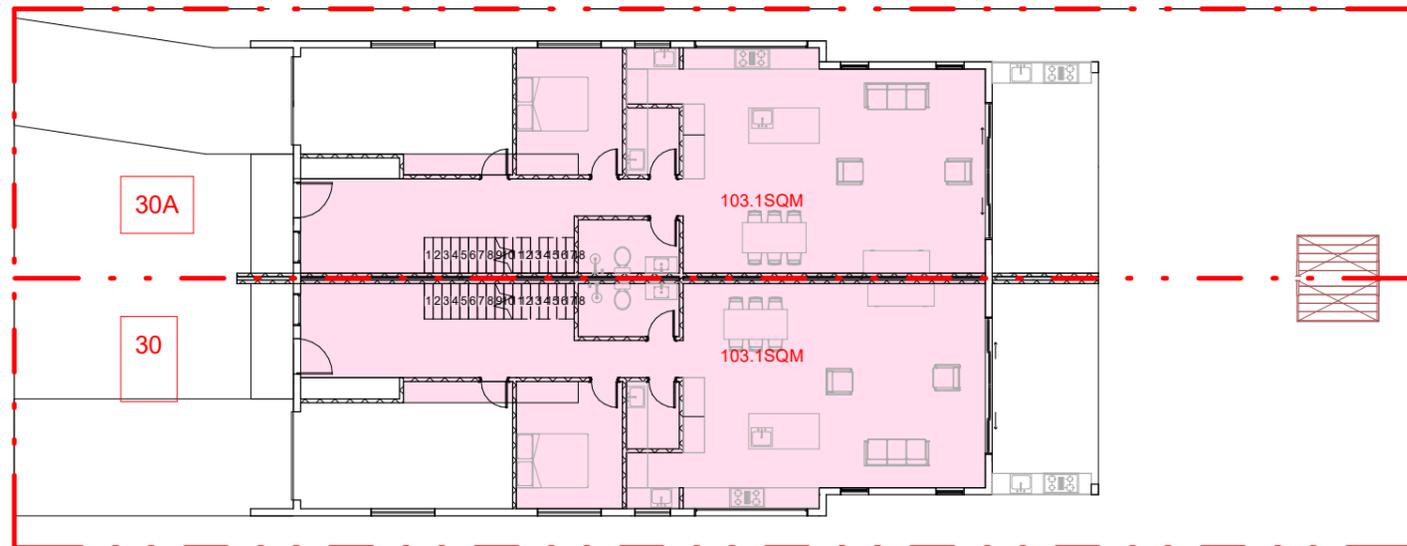
SITE  
30 HUME BOULEVARD KILLARNEY VALE

PROJECT STATUS  
CDC

DATE  
2025/10/13 10:54:38

REV.	DESCRIPTION	DATE
A		11/02/22

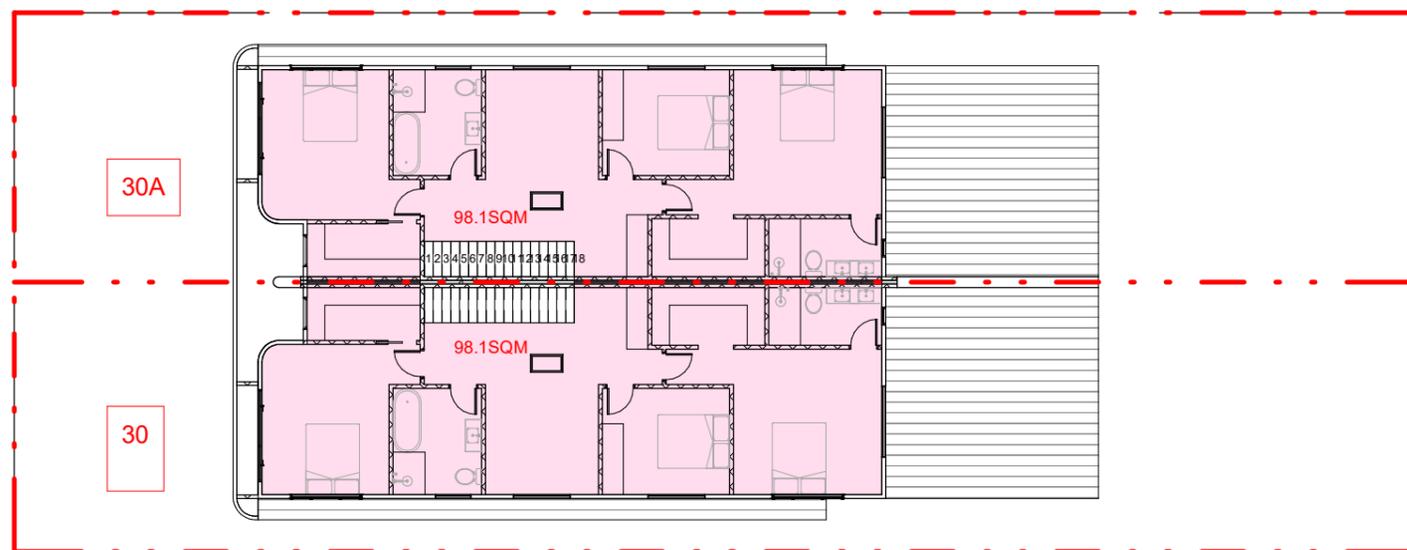
DRAWN BY Author	CHECKED BY MW
SCALE AS SHOWN@A3	SHEET NO CDC-12



1

# GFA GF

1 : 200



2

# GFA FF

1 : 200

## GFA CALCULATION

PARENT LOT AREA: 603.9 m<sup>2</sup>

MAX GFA: 25% OF PARENT LOT  
AREA + 300 m<sup>2</sup> = 450.98 m<sup>2</sup>

## PROPOSED DWELLINGS

### LOT 30A

GF GFA : 103.1 m<sup>2</sup>

FF GFA : 98.1 m<sup>2</sup>

### LOT 30

GF GFA : 103.1 m<sup>2</sup>

FF GFA: 98.1 m<sup>2</sup>

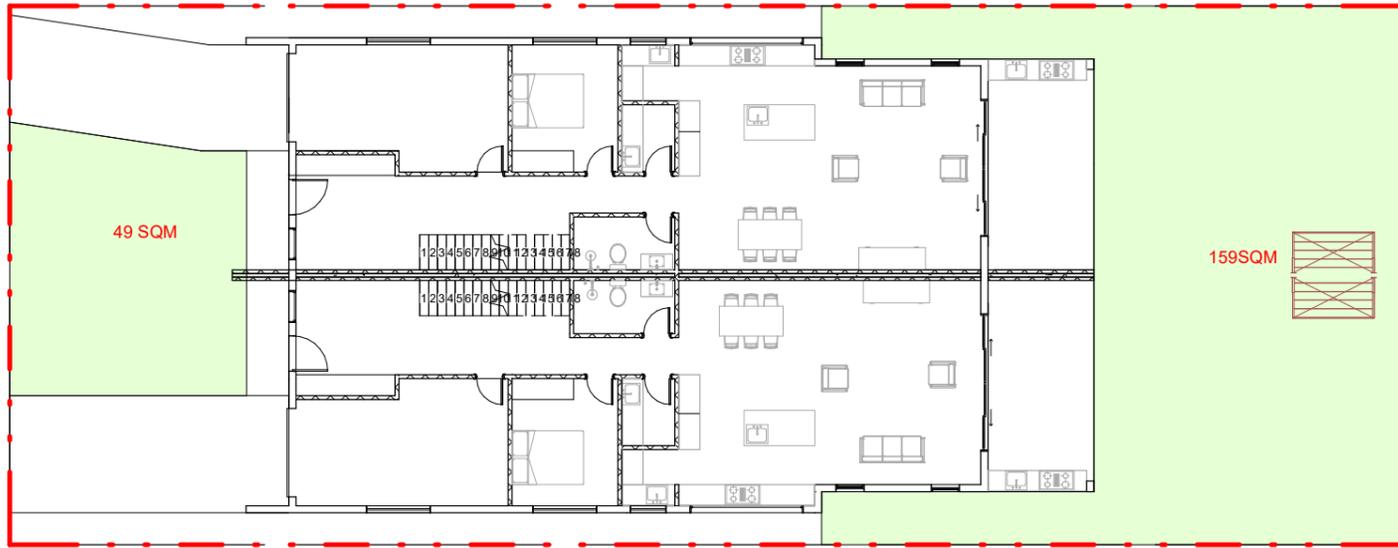
**TOTAL GFA : 402.4 m<sup>2</sup>**

### REMARKS

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PROJECT PROPOSED DUPLEX		PROJECT STATUS CDC		DATE 2025/10/13 10:54:40	
SHEET TITLE GFA CALCULATION		REV. A	DESCRIPTION	DATE 01/20/22	DRAWN BY Author
SITE 30 HUME BOULEVARD KILLARNEY VALE					CHECKED BY MW
				SCALE AS SHOWN@A3	SHEET NO CDC-13



**LANDSCAPE CALCULATION**

LOT AREA: 603.9 m<sup>2</sup>

LANDSCAPED REQ: 50% OF LOT AREA-100=201.95 m<sup>2</sup>

POS REQ: 16 m<sup>2</sup>

**TOTAL PROPOSED LANDSCAPE AREA: 208 m<sup>2</sup>**

LANDSCAPED AREA IN FRONT OF BUILDING LINE REQ 25% or 32.77m<sup>2</sup>

CALCULATED 49 m<sup>2</sup>

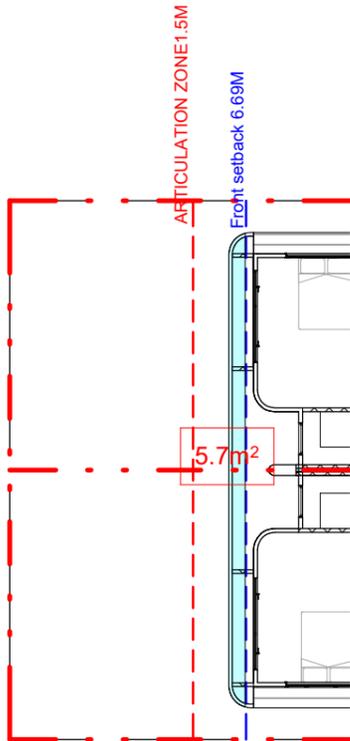
LANDSCAPED AREA BEHIND BUILDING LINE REQ : 50% or 101 m<sup>2</sup>

CALCULATED 159 m<sup>2</sup>

PRIVATE OPEN SPACE: 16m<sup>2</sup>

**1 LANDSCAPE CALCULATION**

1 : 200



ARTICULATION ZONE

TOTAL AREA IN ARTICULATION ZONE: 22.86 m<sup>2</sup>

ALLOWABLE AREA IN ARTICULATION ZONE: 25% OR 5.72 m<sup>2</sup>

PROPOSED AREA IN ARTICULATION ZONE: 5.7 m<sup>2</sup>

**2 ARTICULATION**

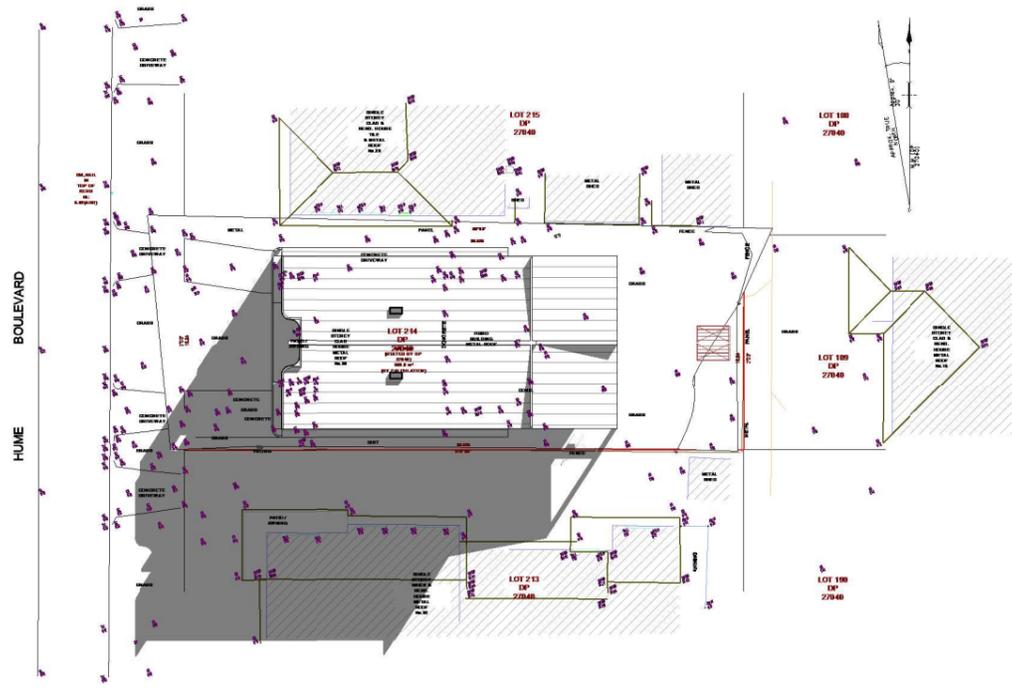
1 : 200

REMARKS

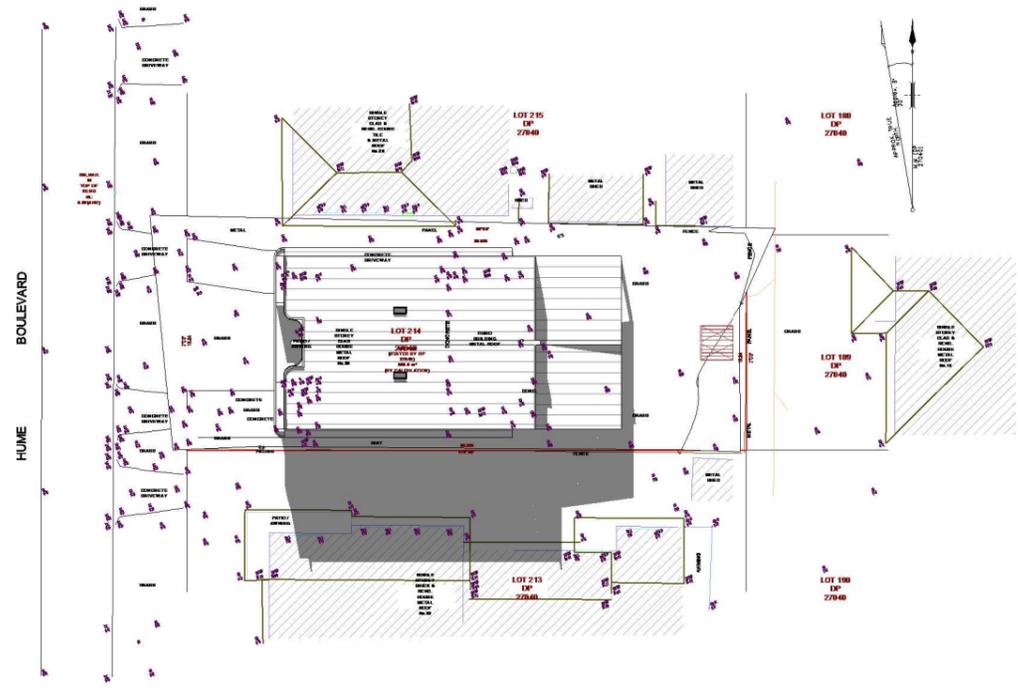
1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.
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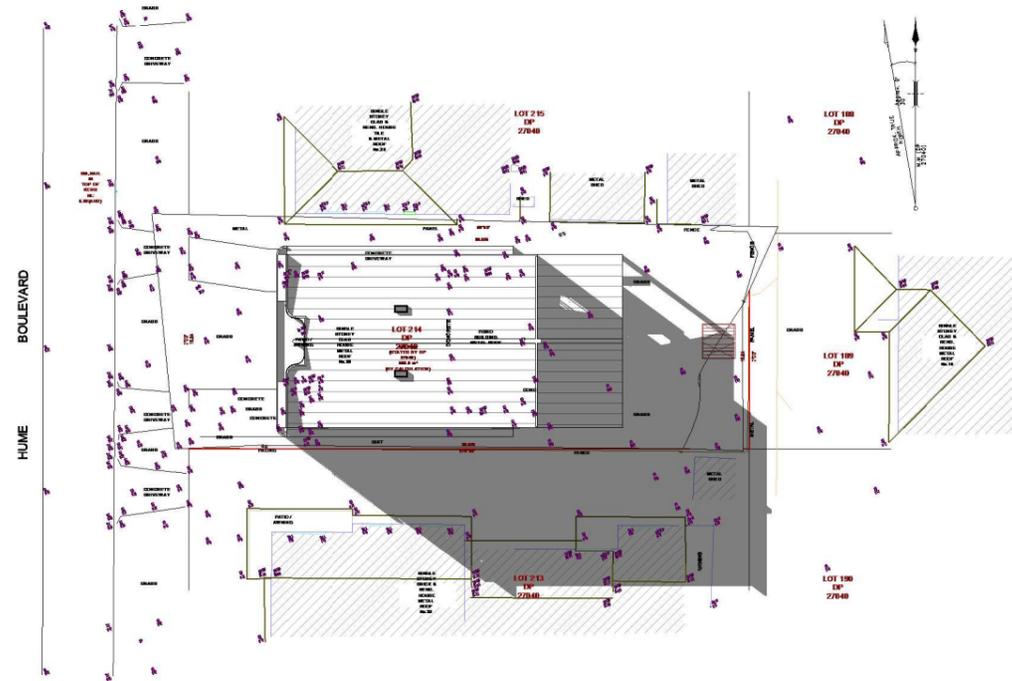
PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC	DATE 2025/10/13 10:54:41
SHEET TITLE LANDSCAPE CALCULATION	REV. A	DESCRIPTION DATE 01/21/22
SITE 30 HUME BOULEVARD KILLARNEY VALE	DRAWN BY Author	CHECKED BY MW
	SCALE AS SHOWN@A3	SHEET NO CDC-14



1 21JUN@9AM



2 21JUN@12PM



3 21JUN@3PM

REMARKS

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PROJECT PROPOSED DUPLEX		PROJECT STATUS CDC		DATE 2025/10/13 10:54:43	
SHEET TITLE SHADOW DIAGRAM		REV. A	DESCRIPTION	DATE 07/11/22	DRAWN BY Author
SITE 30 HUME BOULEVARD KILLARNEY VALE					CHECKED BY mw
				SCALE AS SHOWN@A3	SHEET NO CDC-15



A. DULUX WHITE



B. CLADDING James hardie Axon



C. CLADDING



D. CLADDING COLORBOND DARK



E. DULUX DARK GREY OR SIMILAR



F. COLORBOND ROOF FASCIA & GUTTER NIGHT SKY



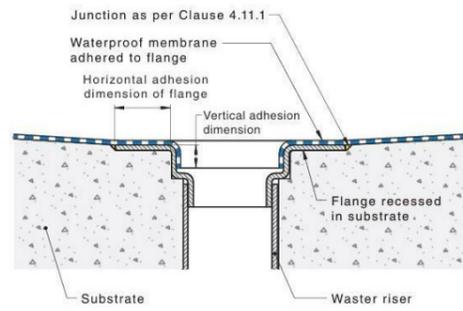
G. WINDOW FRAME BLACK

REMARKS

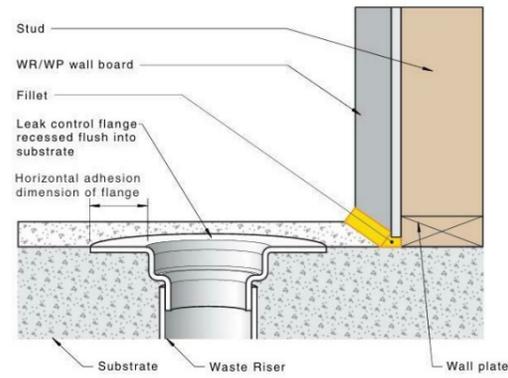
1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.  
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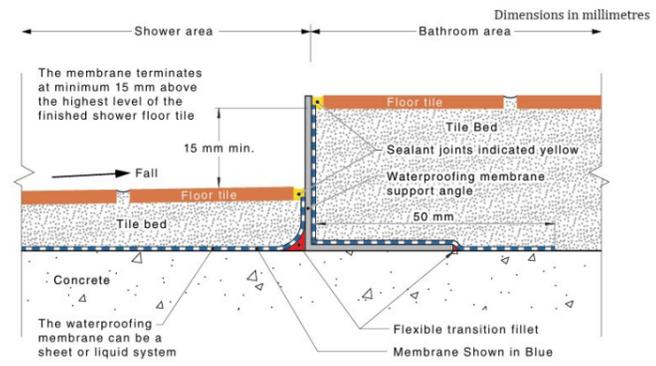
PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC		DATE 2025/10/13 10:54:43
SHEET TITLE MATERIALS SCHEDULE	REV. A	DESCRIPTION	DATE 09/20/24
SITE 30 HUME BOULEVARD KILLARNEY VALE		DRAWN BY Author	CHECKED BY Checker
		SCALE AS SHOWN@A3	SHEET NO CDC-16



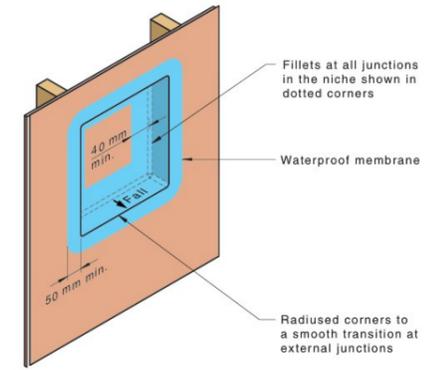
Typical membrane termination at leak control flange with down leg



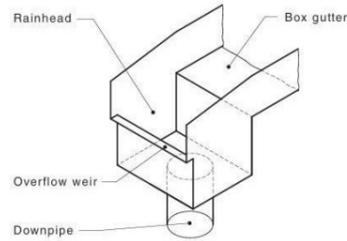
Generic leak control flange adjacent to a wall



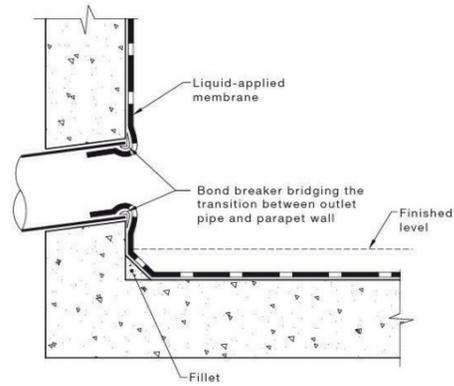
Step-down shower waterstop and cover channel liquid membrane



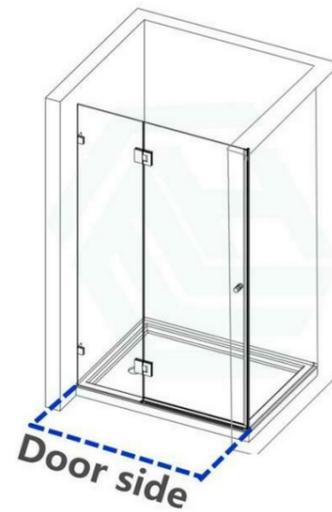
Niche in shower wall framework



Rainwater Head and Box gutter Details



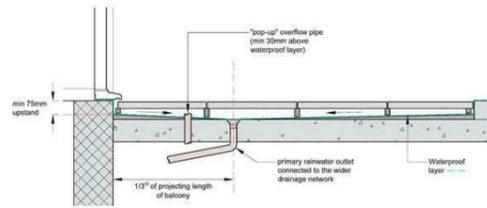
Typical Details of Overflow through parapet where is applicable



Typical details of shower



Typical details of shower



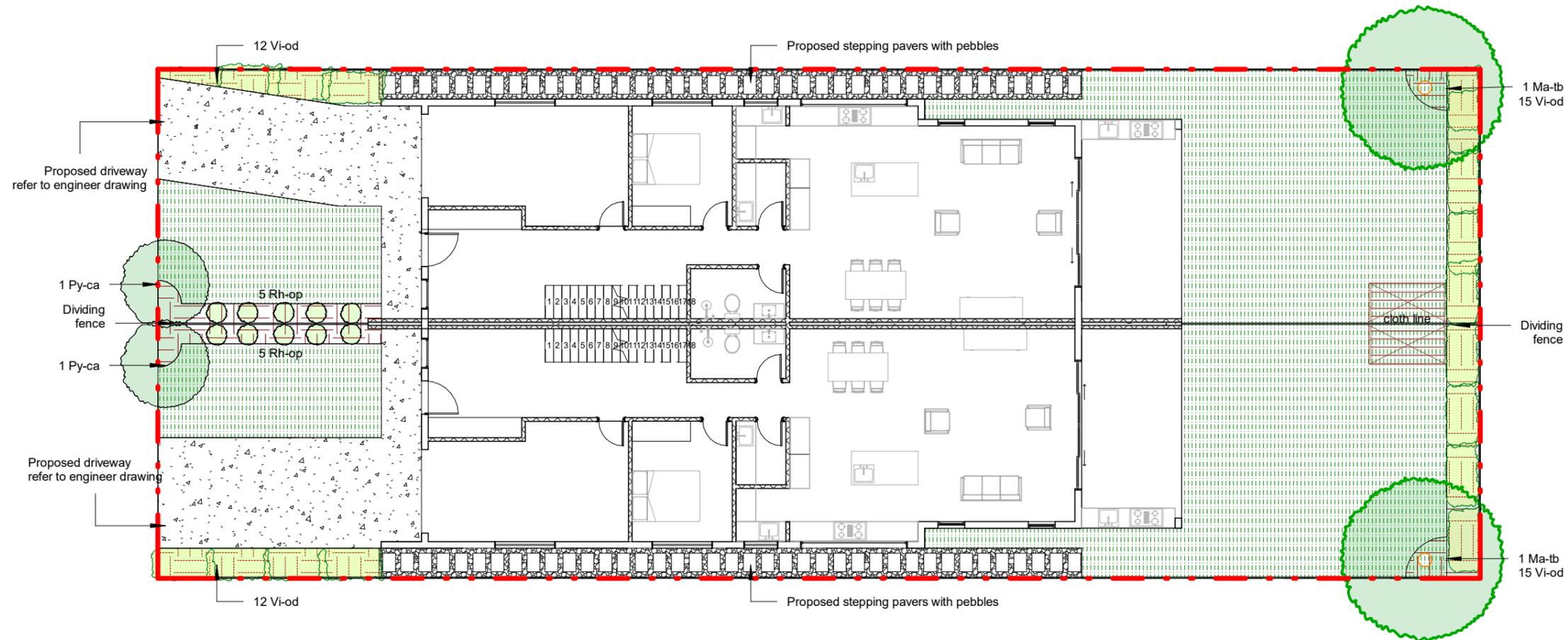
Typical details of step details for balcony, verandas, deck

REMARKS

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PROJECT PROPOSED DUPLEX	PROJECT STATUS CDC		DATE 2025/10/13 10:54:44
SHEET TITLE TYPICAL DETAILS	REV. A	DESCRIPTION	DATE 09/20/24
SITE 30 HUME BOULEVARD KILLARNEY VALE			DRAWN BY Author
			CHECKED BY Checker
			SCALE AS SHOWN@A3
			SHEET NO CDC-17



- TREE**
- Magnolia grandiflora 'Teddy bear'
  - Pyrus calleryana 'capital'
- SHRUB**
- Raphiolepis indica 'Oriental Pearl'
- HEDGING**
- Viburnum odoratissimum
- Other Symbols:**
- 1.8m high boundary fence
  - Turf area
  - Proposed driveway
  - Stepping pavers with pebbles
  - Mulched area

# LANDSCAPE PLAN

1 : 150

## REMARKS

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PROJECT PROPOSED DUPLEX		PROJECT STATUS CDC		DATE 2025/10/13 10:54:47	
SHEET TITLE Landscape Plan 1		REV. A	DESCRIPTION	DATE 10/08/25	DRAWN BY Author
SITE 30 HUME BOULEVARD KILLARNEY VALE					CHECKED BY Checker
				SCALE AS SHOWN@A3	SHEET NO CDC-19

# LANDSCAPE SPECIFICATION NOTES

## Tree Protection

Trees requiring protection, either identified on the drawings or as instructed, are to be protected in the following manner.

### 1 Marking

Mark trees to be retained by suitable non-injurious, easily visible and removable means of identification. Remove the identification on completion.

### 2 Protection

Protect from damage the trees to be retained. Do not remove topsoil from, or add topsoil to, the area within the drip line of the trees and keep this area free of construction material and debris.

### 4 Enclosure

Prior to commencement of any work, including heavy machinery entering the site, a fence shall be erected to encompass the area beneath the canopy to the extent of the crown, where possible. The fence shall be 1800mm star pickets fixed 300mm into the ground at 2000mm centres. High visibility Polypropylene barricade material shall be fixed securely to the pickets. The fence must be maintained in good condition for the duration of the building contract.

The fenced exclusion zone is to be mulched with organic mulch to a depth of 75-100mm. The mulch is to be maintained for the duration of the development works.

### 5 Work on Trees

If it is necessary to perform any work on trees, give notice and obtain instructions before undertaking the work.

### 6 Root Pruning

Where root pruning is authorised, pruning shall be carried out by an experienced tree surgeon, under the supervision of a qualified Arborist. All root pruning shall be by hand and undertaken with clean sharp pruning tools. Severed roots shall be hand pruned, treated with root hormone, and kept moist for the duration of the building contract.

### 7 Excavation

If excavation is required near trees to be retained, give notice and obtain instructions. Where excavation is approved, use hand methods to locate, expose and cleanly remove the roots on the line of excavation. Excavation is not to affect more than two thirds of the root area within the drip line of the canopy.

### 8 Backfilling

Backfill to excavations around tree roots with a mixture consisting of three parts by volume of topsoil and one part of well rotted compost with a neutral pH value, free from weed growth and harmful materials. Place the backfill layers, each of 300 mm maximum depth, compacted to a dry density similar to that of the original or surrounding soil. Do not backfill around tree trunks to a height greater than 300 mm above the original ground surface. Immediately after backfilling, thoroughly water the root zone surrounding the tree.

### 9 Tree Monitoring

The trees to be protected are to be monitored for the duration of the building contract by a qualified Arborist, in particular ensuring that the root zone of the tree does not dry out.

### 10 Removal

If a tree is damaged and repair work is considered impractical, or is attempted and fails, remove the tree and root system, if so directed.

### 11 Harmful Materials

Keep the area within the dripline free of construction material and debris. Do not place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks. Prevent wind-blown materials such as cement from harming trees and plants. Soil around remnant trees to be maintained at all times.

### 12 Compacted Ground

Do not compact the ground under trees. If compaction occurs, give notice and obtain instructions.

### 13 Watering

Water trees as necessary, including where roots are exposed at ambient temperature greater than 35oC.

### 14 Prohibited Actions within Tree Protection Area:

The following are prohibited beneath the canopy of any trees, which are to be protected:

- Stockpiling or dumping of soil
- Stockpiling of construction materials, waste of refuse
- Parking or driving of construction vehicles, or equipment
- Erection of any structures including site offices
- Disposal of any form of liquid waste
- Placement of waste collection bins
- Removal or stripping of site topsoil.

The following activities are prohibited:

- Physical damage to the trunk, limbs or roots of any tree
- Pruning of branches without prior written consent
- Attachment of any form of sign to the trunk or branches

## Material Selection

### PP - Paving type

Product: Euro® Classic pavers. Dimension: 400x400x40mm Colour: Cyprus.

Concrete paver edging

Product: Havenslab® pavers. Dimension: 400x200x40mm Colour: Oatmeal.

Supplier: adbrnMASONRY. 1300 365 565. Email: enquiries@adbrn.com.au  
ALL PAVING SURFACES ARE TO CONFORM TO AS 4586, CLASS W & R11 SLIP RATING. TEST REPORTS TO BE PASSED TO SUPERINTENDENT BEFORE INSTALLATION. Paving selection to be approved by client before commencement of construction. All permeable paving to be constructed with proper edge restraint as per manufacturer's detail and specification to be suitable for residential driveway and car parking.

### Stepping Stones

300mm x 600mm x 50mm thick concrete steppers to be formed on site over 30mm mortar bed over compacted sub-grade below. Allow for minimum 200mm spacing between pavers for grass growth. ALL PAVING SURFACES ARE TO CONFORM TO AS 4586, CLASS W & R11 SLIP RATING. TEST REPORTS TO BE PASSED TO SUPERINTENDENT BEFORE INSTALLATION.

### Steel Edge

Formboss™ 2.44m L x 1.6mm x 75mm galvanised rounded top edge (item code: FBG16075) with 2.5mm gauge 300mm long x 75mm x 3mm tapered stakes CALV (x1 screws) (item code: FBS25300) or approved equivalent. Stakes to be installed evenly 3 per 2.44m length. Screws to be installed at 20mm from bottom of steel edge, must be under soil level. One screw for each side of your connection, one per stake.

Steel Edging to be installed flush with adjoining surface level.

Steel Edging to be installed at all joints of natural pebble and garden bed / paving.

## General

Maintenance shall mean the care and maintenance of the landscape works by accepted horticultural practice as rectifying any defects that become apparent in the landscape works under normal use. The landscape contractor shall attend the site on a weekly basis to maintain the landscape works for the full term approved at CC stage of the maintenance period (commencing from practical completion).

## Rubbish Removal

During the term of the maintenance period the Landscape Contractor shall undertake rubbish removal from the site on a weekly basis to ensure the site remains in tidy condition.

## Weed Eradication

Weed growth that may occur in, planted or mulched areas is to be removed using environmentally acceptable methods i.e. nonresidual glyphosate herbicide, (e.g. 'Roundup', applied in accordance with the manufacturer's directions) or hand weeding.

## Tree Replacement

Trees shall show signs of healthy vigorous growth and be free from disease and not exhibit signs of stress prior to handover to the client. Any trees or plant that die or fail to thrive, or are damaged or stolen will be replaced. Replacement material shall have the maintenance period extended in accordance with the landscape contract conditions. Trees and plant materials shall be equal to the minimum requirements of species specified and approved material delivered to site. Should the condition decline from the approved sample the Superintendent reserves the right to reject the tree / plants. Frequency: as required.

## Pruning

Selective pruning may be required during the establishment period to promote a balanced canopy structure. These activities shall be carried out to the best horticultural and industry practice. All pruned material is to be removed from site.

## Irrigation

A low volume drip irrigation system may be installed at the discretion of the Developer. Position of control box, solenoids and irrigation conduits to be designed by qualified irrigation engineer for superintendent approval. Controllers shall be mounted on a stable wall, power rack, or formed and constructed concrete based pedestal mount.

## Watering

Implement an appropriate hand watering regime in areas not irrigated in association with current watering programme to maintain plant health and vigour. The program shall reflect seasonal conditions and plant species. Frequency: Weekly or as required.

## Drainage

All landscape areas are to have positive drainage to SW systems. If areas of poor drainage are identified on site then this should be brought to the site superintendents' attention for rectification. Install agg lines to back of all retaining walls as detailed refer to stormwater engineer's drawings.

## Soils

Non-Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Organic Garden Mix' as supplied by Australian Native Landscapes. Australian native garden beds to have soil installed consisting of 50% existing site topsoil and 50% new topsoil equal or equivalent to 'Native Low 'P' Mix' as supplied by Australian Native Landscapes. Topsoil to be installed to depth of 300mm for tree and mass planting garden beds, 100mm of turf underlay should be used under turf areas.

## Cultivation

All garden beds to be cultivated to a min depth of 150mm and tree pits to the depth of the root ball only. If additives such as gypsum are required conduct this after cultivation into the top 100mm of soil.

## Planting

All planting to be grown to NATSPEC specifications. Contractor to prepare site for planting including watering, handling, setting out and excavation. Excavate a hole for each plant large enough to provide not less than 100mm all around the root system of the plant. For tree planting each hole shall be dug with a shovel, backhoe or similar tool. Individual holes shall be excavated to allow root system to sit flat on the excavated hole and 400mm to each side of the root system. Backfill planting holes with existing site soil and topsoil as described in section 'Soil', plant / Tree shall be set plumb, with the root ball set slightly below the final soil level.

## Stakes and ties

For 75lt and 100lt plants 1.2-1.5m high place 2 Hardwood stakes 38x38x1800mm long per plant. Stakes are to be straight and free from knots or twists and pointed at one end. Drive stakes into the ground for at least a third of their length, avoiding damage to the root system. Provide two hessian ties 75mm wide top each staked plant. Ties to be fixed securely to the stakes, one tie at half the height of the main stem, others as necessary to stabilise the plant. Install tie around stake and stem in a figure of eight pattern.

## Mulching

The Landscape Contractor shall supply and install 15mm Eucy Mulch to all garden beds shown on the landscape plans, to a minimum depth of 75mm. All mulch is to be free of deleterious matter such as soil, weeds and sticks. Mulched surfaces are to be kept clean and tidy and free of any deleterious material and foreign matter. Reinstate depths to a uniform level of 75mm with mulch as specified, mulch to be free of any wood material impregnated with CCA or similar toxic treatment. Maintain watering rings around trees. Top up mulch levels prior to handover to client.

## Turfing

The landscape contractor shall supply and install Sir Walter Buffalo turf in stretcher pattern to all turf areas shown on the landscape plans and is to finish flush with adjacent surfaces. Turf to be a min thickness of 50mm with a 40mm mowing height. Contractor to allow for fertilising, laying, tamping, watering, top dressing, maintenance and mowing. The landscape contractor shall supply and install turf underlay under all turf areas, consisting of 100mm thick layer of screened top soil.

## Pest and Disease Control

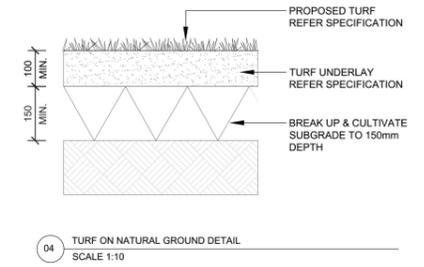
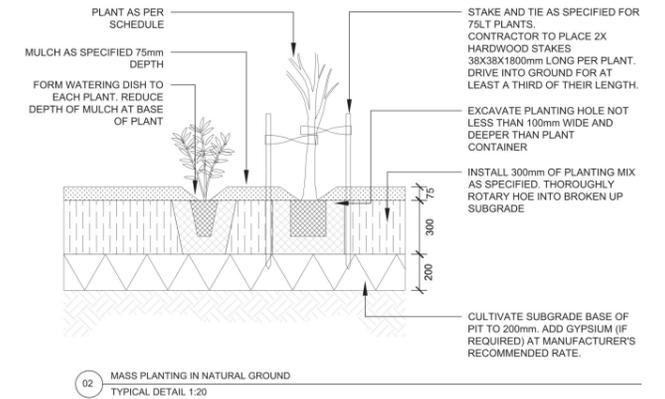
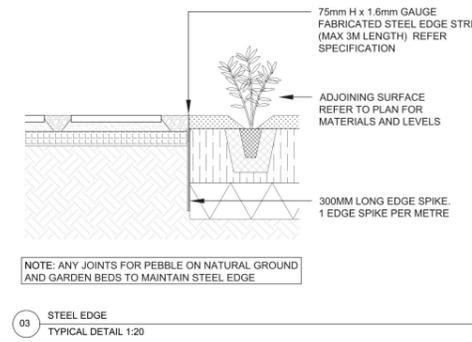
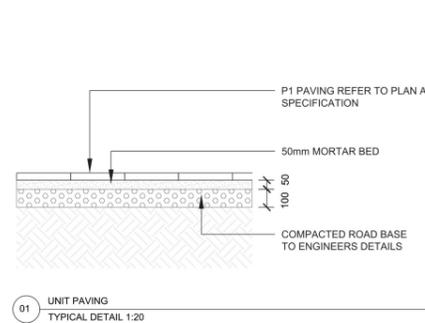
The Landscape Contractor shall spray for pests and disease infestations when the pest and fungal attack has been positively identified and when their populations have increased to a point that will become detrimental to plant growth. Apply all pesticides to manufacturer's directions. Frequency: weekly inspection

## Fertilising

Pellets shall be in the form intended to uniformly release plant food elements for a period of approximately nine months equal to Shirleys KOKEI pellets, analysis 6.3:1.8:2.9 or similar approved. KOKEI pellets shall be placed at the time of planting to the base of the plant, 50mm minimum from the root ball at a rate of two pellets per 300mm of top growth to a maximum of 8 pellets per tree. Generally check for signs of nutrient deficiencies (yellowing of leaves, failure to thrive), and adapt fertiliser regime to suit.

Fertiliser should be applied at the beginning and the end of the (summer) growing season.

# LANDSCAPE DETAILS



## REMARKS

1. SMOKE ALARM TO COMPLY WITH NCC BCA VOLUME 2, 2022 SECTION H3D6 & AS3786 2014. SMOKE ALARM MUST BE LOCATED IN CLASS 1A BUILDING IN ACCORDANCE WITH PART 9.5 OF THE ABCB HOUSING PROVISIONS.
2. WORK COMPLY WITH STATE ENVIRONMENTAL PLANNING POLICY (EXEMPT AND COMPLYING DEVELOPMENT CODES) 2008 - LOW RISE HOUSING DIVERSITY CODE
3. WORK COMPLY WITH THE NATIONAL CONSTRUCTION CODE SERIES (NCC) BUILDING CODE OF AUSTRALIA (BCA) VOLUME 2, 2022 INCLUDING SECTION H1-H8
4. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.
5. DO NOT SCALE DRAWINGS.
6. CONTRACTOR TO CHECK UNDERGROUND SERVICES BEFORE COMMENCING WORKS BY CONTACTING DIAL BEFORE YOU DIG. IF DIAL BEFORE YOU DIG INFORMATION IS PROVIDED WITH THIS DOCUMENTATION IT SHALL BE ASSUMED NO TO BE CURRENT AND CONTRACTOR SHALL MAKE THEIR OWN ENQUIRES.
7. CONTRACTOR MUST VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK OR PREPARING SHOP DRAWINGS.



PROJECT PROPOSED DUPLEX		PROJECT STATUS CDC		DATE 2025/10/13 10:54:49	
SHEET TITLE Landscape Plan 2		REV. A	DESCRIPTION	DATE 10/08/25	DRAWN BY Author
SITE 30 HUME BOULEVARD KILLARNEY VALE					CHECKED BY Checker
				SCALE AS SHOWN@A3	SHEET NO CDC-20